



TOWN OF PELHAM

6 Village Green
Pelham, New Hampshire 03076

ATTENTION APPLICANT PRIOR TO RECEIVING YOUR BUILDING PERMIT FOR AN ATTACHED ACCESSORY DWELLING UNIT

The Town of Pelham adopted the following RSA as per the E911 agreement with the State of New Hampshire

As an applicant for an attached ADU (Accessory Dwelling Unit) you will be required to adhere to the requirement to change your address as assigned by the Town of Pelham Assessors Office, prior to receiving your occupancy permit.

231:133-a Address Numbers on Streets and Highways. – The governing body may adopt a system for assigning or altering address numbers of buildings and other property along any public or private way in the municipality. Prior to the actual assignation or alteration of numbers along any way or portion of any way the governing body or planning board shall hold a public hearing for which 10 days' notice has been given by posting in 2 public places in the municipality, by publication in a newspaper in circulation in the municipality, and by first class mail to all owners of property being numbered or renumbered, as indicated by town records. No public hearing shall be required where the property owner or owners voluntarily consent to their property being numbered or renumbered, as indicated by town records. Each municipality addressing numbers on streets and highways pursuant to this section is encouraged to notify the bureau of emergency communications of the changes in accordance with RSA 106-H:10.

Source. 1991, 53:2. 1997, 92:2, eff. Jan. 1, 1998.

Owner/Applicant_____

Date_____

TOWN OF PELHAM
APPLICATION FOR CONDITIONAL USE PERMIT FOR
an ATTACHED/WITHIN ACCESSORY DWELLING UNIT

Name of Owner/Applicant: _____

Street Location: _____

Tax Map: _____ Lot: _____

Phone Number: _____

Criteria Checklist

The accessory dwelling unit shall be subject to the standards and conditions as set forth in the Town of Pelham Zoning Ordinance as follows:

- ☐ The accessory dwelling unit (ADU) shall be clearly secondary to the primary dwelling unit (PDU).

Total square footage of PDU: _____

Total square footage of ADU*: _____

*Total square footage of ADU to be confirmed by Building Inspector when plans are reviewed.

- ☐ The ADU does not contain more than two bedrooms and does not exceed 1000 sf of living area exclusive of entryways.
- ☐ The ADU shall not be permitted anywhere except on a lot occupied by a single-family residence. Only one ADU shall be allowed on any individual lot.
- ☐ The waste disposal system must be sufficient to support the septic loading requirements of both the ADU and PDU and be on file and approved by the NHDES. In the case of a previously installed septic system, the applicant shall provide evidence that the existing sewage disposal system is in good working condition and shall also include a subsurface waste disposal system design approved by the NHDES that demonstrates the lot can accommodate the combined flows of the primary dwelling and accessory unit to be installed in the event of a system failure.
- ☐ The accessory dwelling unit shall have an independent means of ingress and egress meeting all applicable building code requirements to the satisfaction of the building inspector. No new entrance or exit to an accessory dwelling shall be constructed on the front of the single-family residence.
- ☐ The driveway shall be designed to appear as a driveway of a single-family residence. **No new curb cut from the street shall be constructed.** If a second driveway is wanted, a Waiver to Article XII Section 307-74 H from the Planning Board must be sought.

- ☐ Adequate off-street parking shall be provided to support the vehicles of the primary and accessory units.
- ☐ The lot is at least 1 acre containing at least 35,000 square feet of non-hydric soils.
- ☐ All setbacks as defined in Article III, Section 307-12 are met.
- ☐ The applicant shall submit the following:
 1. A plot plan showing the location of proposed ADU
 2. Two (2) copies of the proposed plan at a reduced sized of 11" x 17"
 3. A septic design approved by the NHDES
 4. A check for the \$25.00 application fee, made payable to the Town of Pelham

The applicant and/or owner or agent, certifies that this application is correctly completed with all required attachments and requirements and that any additional costs for engineering or professional services incurred by the Planning Department or the Town of Pelham in the final process of this property shall be borne by the applicant and/or owner.

If this application is determined by the Planning Director to be complete, it will be able to proceed onwards in the permitting process.

(Signature of Owner and/or Applicant or Agent) (Date)

Zoning Administrator Approval
as designee of Planning Board: _____
(Date)



TOWN OF PELHAM

6 Village Green
Pelham, New Hampshire 03076

Authorization to Act as Agent

Date: _____

I authorize _____ to act as my agent in securing any and all permits necessary to
the development of my property located at _____ Pelham Tax Map _____
Lot _____.

Signed: _____

Dated: _____

Witness: _____

NOTICE

EFFECTIVE IMMEDIATELY:

FOOTING, FOUNDATION REBAR INSPECTIONS WILL BE REQUIRED ON ALL ADDITIONS THAT HAVE FULL BASEMENTS WHEN APPLICABLE BY CODE

The Town of Pelham is now under the 2018 International Building Code.

Your application for Building Permit should include the following:

- 1.) Building Permit Application filled out in its entirety. Anything that is not-applicable should be filled in with "N/A". The application must be signed by the owner of the property, or the contractor must have a signed agreement with the homeowner authorizing them to pull permits on their behalf.
- 2.) Drawings of proposed work reduced to 8 ½" x 11", 8 ½" x 14" or 11" x 17". Plans for additions, Accessory Dwellings, etc. with a lot of details should be 11" x 17". **Additions, Commercial alterations, and Accessory Dwelling units must be reviewed and stamped by John Hodge, Fire Inspector, prior to submitting an application.** 4 sets of drawings must be submitted to John Hodge. One (1) stamped set will remain at the Fire Department, three (3) will be returned to the applicant, of which he/she will keep one. Two (2) sets must accompany the application for the Building Inspector's review, and comments / mark-ups, if applicable. One (1) set will be returned to the applicant at the time the permit is issued, paid for and picked up. That set should remain on site for the duration of the project, until final inspection. One (1) set remains in the file at the Planning Department.
- 3.) In the case of New Buildings, Additions, Renovations, or Thermally Isolated Sunrooms, you will need to fill out a New Hampshire Residential Energy Code Application and submit it with your Building Permit Application.
- 4.) A copy of the Plot Plan of the property, showing the location of the proposed construction, drawn to scale. You will need to know the setbacks of the proposed structure to the property lines to submit your application. (Residential setbacks are 30' from the front property line, 15' from the side property lines and 15' from the rear property line). The setbacks need to be from proposed structure to the property lines, please DO NOT write in the setback minimum's or your project might be delayed.
- 5.) Septic System approval and plan for new construction, additions of bedrooms, or septic repairs. See Article K of the Town Health Ordinances for requirements.



Town of Pelham
6 Village Green
Pelham, NH 03076-3723
APPLICATION FOR BUILDING PERMIT
(603) 635-7811

**1. LOCATION
OF
BUILDING**

Street Location _____

Subdivision

Map

Lot

☐ Conventional Subdivision

☐ Conservation Subdivision

☐ Senior Housing Project

2. TYPE OF IMPROVEMENT

- 1 ☐ New Building
2 ☐ Addition
3 ☐ Alteration, renovation
4 ☐ Repair, replacement
5 ☐ Wrecking, demolition
6 ☐ Moving, relocation
7 ☐ Foundation ONLY

3. PROPOSED USE

Residential

- | | |
|---|--|
| 1 <input type="checkbox"/> Single Family | 6 <input type="checkbox"/> Deck |
| 2 <input type="checkbox"/> Two or more family | 7 <input type="checkbox"/> Pool |
| # of units _____ | 8 <input type="checkbox"/> Wood/Pellet Stove |
| 3 <input type="checkbox"/> Garage | 9 <input type="checkbox"/> Certificate of Occupancy |
| 4 <input type="checkbox"/> Carport | 10 <input type="checkbox"/> Other (specify in section 5) |
| 5 <input type="checkbox"/> Shed | |

4. ESTIMATED COST

- 1 Electrical \$ _____
2 Plumbing \$ _____
3 Mechanical \$ _____
4 Other \$ _____
Total Cost \$ _____

5. DESCRIPTION

**6. PRINCIPAL TYPE OF
FRAME**

- 1 ☐ Masonry (wall bearing)
2 ☐ Wood frame
3 ☐ Structural steel
4 ☐ Reinforced concrete
5 ☐ Other – Specify _____

7. Will the proposed structure meet current set back & lot size requirements? ☐ Yes ☐ No

Frontage _____ Lot Size _____ Front Setback _____
Rear Setback _____ Left Setback _____ Right Setback _____

****SETBACKS NEED TO BE FROM PROPOSED STRUCTURE TO PROPERTY LINES****

8. WCD (Wetland Conservation District)

- 1 Is the property located in a WCD area? ☐ Yes ☐ No
2 Is the proposed structure located within the WCD area? ☐ Yes ☐ No

9. Is a variance required? ☐ Yes ☐ No

Has a variance been approved? ☐ Yes ☐ No

Date of Hearing: _____ Case # _____

10. PRINCIPAL TYPE OF HEATING FUEL

- 1 ☐ Gas
2 ☐ Oil
3 ☐ Electricity
4 ☐ Coal
5 ☐ Other – Specify _____

11. DIMENSIONS

- 1 Number of Stories _____
2 Total Living Area SF _____
3 Foundation Size _____

**12. NUMBER OF OFF-STREET
PARKING SPACES**

- 1 Enclosed _____
2 Outdoors _____

13. RESIDENTIAL BUILDINGS ONLY

- 1 Total Bedrooms: Finished _____ Unfinished _____
2 Total Bathrooms: Full _____ 1/2 _____ 3/4 _____

14. Is the proposed work within 250 ft. of Beaver Brook, Little Island, Gumpas, Long or Harris Ponds: ☐ Yes ☐ No
If yes, has approval been sought from NHDES? ☐ Yes ☐ No
(Evidence of approved DES Shoreline Application OR written exemption by DES must be provided with this application)

15. IDENTIFICATION			
	NAME	MAILING ADDRESS	PHONE NUMBER
1. Owner			
Email			
2. General Contractor			
3. Electrician**			
4. Plumber**			
SIGNATURE OF OWNER		APPLICATION DATE:	
ELECTRICAL & PLUMBING WORK REQUIRE SEPARATE PERMITS – THEY ARE NOT INCLUDED IN THE BUILDING PERMIT			

NOTE: CONSTRUCTION PLANS ARE NOT TO EXCEED 11"X 17"
 *****PLANNING DEPARMTENT USE ONLY – DO NOT WRITE BELOW THIS POINT*****

Zoning/Planning Compliance

APPROVED ☐

Conditions of Approval to be noted on Building Permit: _____

DENIED ☐

Reasons for Denial: See ADMINISTRATIVE DECISION DATED: _____

_____ Jenn Beauregard, Planning Director / Zoning Administrator	_____ Date
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Building Code Compliance

APPROVED ☐

Conditions of Approval to be noted on Building Permit: _____

BUILDING PERMIT FEE: _____

_____ Roland Soucy, Building Inspector	_____ Date
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New Hampshire Residential Energy Code Application
for Certification of Compliance for New Construction, Additions and/or Renovations of
Detached One- and Two-family dwellings and multi-family dwellings (townhouses) not over 3
stories

EC-1 Form

Minimum Provisions from 2018 IRC Chapter 11

Effective Date: July 1, 2022

Owner/Owner Builder: Company Name: (if applicable)			General Contractor: Company Name:		
Name:			Name:		
Mail Address:			Mail Address:		
Town/City:	State:	Zip:	Town/City:	State:	Zip:
Phone:	Cell:		Phone:	Cell:	
E-Mail:			E-Mail:		
Location of Proposed Structure:			Type of Construction:		
Tax Map #:		Lot #:	<input type="radio"/> Residential <input type="radio"/> Small Commercial <input type="radio"/> New Building <input type="radio"/> Renovation <input type="radio"/> Addition <input type="radio"/> Thermally Isolated Sunroom <input type="radio"/> Modular Home: the site contractor must submit this form detailing supplementary rooms and Floor and/or Basement insulation unless the floor insulation is installed or provided by the manufacturer and no heated space is added.		
Street:			Total New Conditioned* Floor Area: <div style="border: 1px solid black; width: 150px; height: 20px; margin: 5px 0;"></div> ft ²		
Town/City:	County:				
Zone 5 <input type="radio"/> Cheshire, Hillsborough, Rockingham Strafford Zone 6 <input type="radio"/> All other NH counties and town of Durham			Basement or Crawl Space type: (*a conditioned space is one being heated/cooled, containing uninsulated ducts or w/ a fixed opening into conditioned space. Walls must be insulated) Conditioned? <input type="radio"/> Yes (Walls must be insulated) <input type="radio"/> No <input type="checkbox"/> Full Basement <input type="checkbox"/> Walk Out Basement <input type="checkbox"/> Slab on Grade <input type="checkbox"/> Other _____		
Structure is EXEMPT because: <input type="checkbox"/> Mobile Home <input type="checkbox"/> On an historic register			Form Submitted by: <input type="checkbox"/> Owner <input type="checkbox"/> Builder <input type="checkbox"/> Other _____		

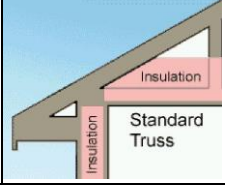
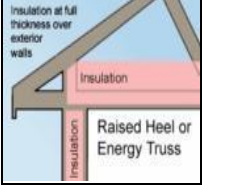
I hereby certify that all the information contained in this application is true and correct, and construction shall comply in all respects with the terms and specifications of the approval given by the local municipal code official or New Hampshire Department of Energy.

Signature _____ **Print Name** _____ **Date** _____

Official Use Only	
Date Complete Application Received:	Approved by: _____
Approval Number:	Date: _____
	Stamp:

Directions: Complete the “Your Proposed Structure” columns. No measurements or calculations are needed. Copies of plans are NOT needed. If you at least meet the Energy Code requirements, your project will be approved. Write N/A in any section that does not apply to your project. If your planned structure does meet these requirements, consider downloading REScheck <http://www.energycodes.gov/rescheck> to explore energy modelling options. **Please submit pages 1 and 2 only.**

YOUR PROPOSED STRUCTURE

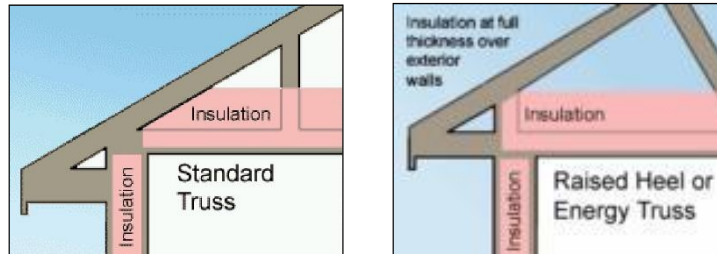
Building Section	Required R or U Values		Write Planned R and U Values	Brands / Models / insulation type and thickness (if known)
Window U Factor (lower U is better)	U .30 (maximum) U-.32 (if log walls in Zone 5) U-.30 (if log walls in Zone 6) U .45 (Thermally Isolated Sunrooms only)		Write in U-Value	Check if <input type="checkbox"/> Sunroom <input type="checkbox"/> Log Walls
Skylights	U .55 (or less) U .70 (Thermally Isolated Sunrooms only)			
Flat Ceiling ⁱ or Flat Ceiling with Raised or Energy Trusses R-value	 R-49 (Zone 5 or 6) if using the above construction technique R-49 if log walls	 R-38 (Zone 5 or 6) if maintaining the full R value over the plates R-49 if log walls	Write in R-Value → If using only R-38 in Zone 5 or 6 you must check this box	NOTE: R-38 will satisfy the requirement for R-49 if the full R-38 insulation value is maintained over the outside plates. If using only R-38 (Zone 5 or 6), you must certify that you will maintain R-38 over the plates by checking the box below. <input type="checkbox"/> <i>By checking this box, I certify that this structure is being built with a raised energy truss or that the full R-value of the ceiling insulation will be maintained over the outside plates.</i>
Sloped or Cathedral Ceiling	R-30 (Zone 5 & 6) if less than 500 ft sq or 20% of total ceiling area or as above R-24 (Thermally Isolated Sunrooms only)		Write in R-Value	Check if <input type="checkbox"/> Sunroom
Above Grade Wall ⁱⁱ R-value	Zone 5: R-20 Cavity Insulation only or R-13 plus R-5 Cavity plus Continuous Insulation R-13 (Thermally Isolated Sunrooms only)	Zone 6: R-20 plus R-5 Cavity plus Continuous Insulation or R-13 plus R-10 Cavity plus Continuous Insulation R-13 (Thermally Isolated Sunrooms only)	Write in R-Value	Log homes must comply with ICC400-2012, have an average minimum wall thickness of 5” or greater with specific gravity of ≤0.5 or 7” with specific gravity >0.5. Check if <input type="checkbox"/> Sunroom <input type="checkbox"/> Log Walls
Door U-Value	U .30 (maximum)		Write in U-Value	One opaque door in the thermal envelope is exempt from the U-factor requirement.
Floor R Value (e.g., floor over Basement or garage)	R-30 or Insulation sufficient to fill joist cavity minimum R-19		Write in R-Value	If conditioning the basement you must insulate Basement Walls . If not, you may insulate either Floor or Basement Walls and Slab Edge (if ≤ 1’ of grade)
Basement or Crawl Space Wall R Value	For both Zone 5 and Zone 6 R-19 Cavity Insulation or R-15 Continuous Insulation		Write in R-Value	

Slab Edge ⁱⁱⁱ R Value	R-10 2' (Zone 5) 4' (Zone 6) (see drawing pg 3) add R-5 if the Slab is heated or R-15 under entire heated slab if a log home.	Write in R-Value	Check if <input type="checkbox"/> Heated Slab
Air Sealing	A blower door test is required . The test must demonstrate an air exchange rate of <i>three</i> Air Changes per Hour (ACH) or less @ 50 Pa.	Blower Door	If required by the code official, an approved third party may be required to conduct the blower door test.

Submit pages 1 and 2 to local municipal code official or NH Department of Energy at energycodes@energy.nh.gov
Phone: 603.271.3670 Fax: 603.271.3878

Footnotes to Residential Energy Code Application for Certification of Compliance

ⁱ Ceilings with attic spaces: R-38 in Zone 5 or 6 will be deemed to satisfy the requirement for R-49 wherever the full height of uncompressed R-38 insulation extends over the wall top plate at the eaves or the full R-value is maintained. This is often accomplished by using a raised heel or energy truss as shown in the diagram below or by using higher R-value insulation over the plates.

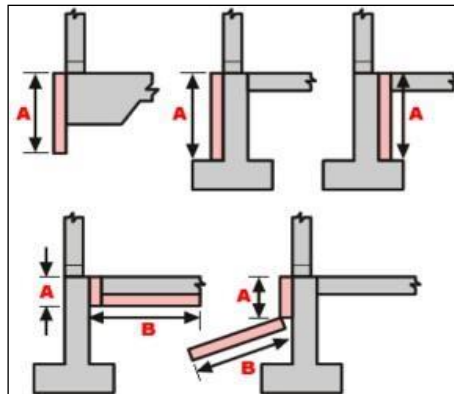


ⁱⁱ R-20 + R-5 means R-20 cavity insulation plus R-5 continuous insulation. If structural sheathing covers 25 percent or less of the exterior, R-5 sheathing is not required where the structural sheathing is placed. If structural sheathing covers more than 25 percent of exterior, the structural sheathing must be supplemented with insulated sheathing of at least R-2.

ⁱⁱⁱ Slab edge insulation must start at the top of the slab edge and extend a total of two (Zone 5) or four feet (Zone 6). Insulation may go straight down, out at an angle away from the building, or along the slab edge and then under the slab. A slab is a concrete floor within 1' of grade level. See diagram below.

The top edge of insulation installed between the exterior wall and the interior slab may be mitered at a 45 degree angle away from the exterior wall.

Allowable Slab Insulation Configurations



A or A+ B must equal two feet in Zone 5 or four feet in Zone 6

MODULAR HOMES must be certified by the NH Department of Safety. Unless the floor insulation is provided by the manufacturer this form may be submitted. This form may also be submitted if the basement is to be insulated or supplementary heated space is added to the home upon or after it is set.

2018 International Residential Code (IRC) effective July 1, 2022
Residential Energy Code Requirements IRC Chapter 11
The following list is intended as a general summary of energy related requirements.
Please consult the 2018 IRC Chapter 11 for complete requirements.

	<p style="text-align: center;">Air Leakage Code Section N1102.4</p>	<p>The building thermal envelope shall be constructed to limit air leakage in accordance with the requirements of IRC Sections R1102.4.1 through R1102.4.4. The building thermal envelope must be durably sealed to limit infiltration. See Table N1102.4.1.1 for a list of thermal envelope elements and installation criteria.</p> <p>Building envelope air tightness shall be verified to comply by Blower Door testing to not exceed air leakage of 3 Air Changes per Hour (ACH) at 50 Pascals pressure. The local Building Official may require an independent 3rd party to conduct the test.</p>
	<p style="text-align: center;">Testing Code Section N1102.4.1.2</p>	<p>The Blower Door Test is the required method to demonstrate code compliance with the air leakage requirement.</p> <p>Blower Door Test conducted by: _____</p> <p>Result (at 50 Pa): _____CFM Interior Volume_____CF _____ACH</p>
	<p style="text-align: center;">Fireplaces Code Section N1102.4.2</p>	<p>New wood-burning fireplaces shall have tight-fitting flue dampers or doors and outdoor combustion air.</p>
	<p style="text-align: center;">Recessed Lighting Code Section N1102.4.5</p>	<p>Recessed lights in the thermal envelope must be type IC rated and labeled as meeting ASTM E 283 and sealed with a gasket or caulk between the housing and the interior wall or ceiling covering.</p>
	<p style="text-align: center;">High-Efficacy Lighting Code Section N1104.1</p>	<p>Not less than 90 percent of the lamps in permanently installing lighting fixtures shall be high-efficacy lamps or not less than 75 percent of the permanently installed lighting fixtures shall contain only high-efficacy lamps.</p>
	<p style="text-align: center;">Materials and Insulation Identification Code Section N1101.5 and N1101.10</p>	<p>Materials, systems and equipment shall be identified in a manner that will allow a determination of code compliance. Manufacturer manuals for all installed heating, cooling and service water heating equipment must be provided. Insulation R-values, glazing and door U-values and heating and cooling equipment efficiency must be clearly marked on the building plans, drawings or specifications.</p>
	<p style="text-align: center;">Pull-Down Attic Stairs, Attic Hatch, and Knee Wall Doors Code Section N1102.2.4</p>	<p>Should be insulated to a level equal to the surrounding surfaces and tightly sealed and weather-stripped at the opening.</p>
	<p style="text-align: center;">Full size Attic or Basement Entry Doors Code Section N1102.3.4</p>	<p>All doors leading from a conditioned space into an unconditioned attic or enclosed attic or basement stairwell should be insulated and weather-stripped exterior rated door units meeting the U-factor requirement. One door is exempt.</p>
	<p style="text-align: center;">Duct Insulation Code Section N1103.3.1</p>	<p>Supply and return ducts in attics must be insulated to at least R-8 where 3 in. diameter or greater and not less than R-6 for ducts smaller than 3 in. diameter.. Supply and return ducts in other portions of the building must be insulated to at least R-6 where 3 in. diameter or greater and not less than R-4.2 for ducts smaller than 3 in. diameter. Exception: Ducts or portions thereof located completely inside the building thermal envelope.</p>

	Duct Construction Code Sections N1103.3.2 and N1103.3.5	Ducts, air handlers and filter boxes shall be sealed. Joints and seams must comply with the <i>Int. Mech. Code</i> or Section M1601.4.1 of the <i>International Residential Code</i> . Building framing cavities shall not be used as ducts or plenums (neither supply nor return).
	Duct Testing Code Sections 1103.3.3	<p>Ducts shall be pressure tested to determine air leakage by either 1) rough-in test or 2) post-construction test. Rough in Test: Ducts must be no leakier than 4 CFM per 100 sqft of conditioned floor area with air handler installed or 3 CFM per 100sqft without the air handler installed. Post Construction: Ducts must be no leakier than 4 CFM per 100 sqft of conditioned floor area. See Code for further requirement details.</p> <p>Test conducted by: _____</p> <p>Duct test result at 25 Pa: _____ Post construction or _____ Rough-in test</p>
	Temperature Controls Code Section N1103.1&1.1	<p>At least one thermostat must be provided for each separate heating and cooling system. The thermostat controlling the primary system must be equipped with a programmable thermostat.</p> <p>Heat pumps having supplementary electric-resistance heat must have controls that, except during defrost, prevent supplemental heat operation when the heat pump compressor can meet the heating load</p>
	Mechanical System Piping Insulation Code Section 1103.4	Mechanical system piping capable of conveying fluids at temperatures above 105°F or below 55°F must be insulated to R-3.
	Circulating Hot Water Systems Code Section N1103.5	<p>Controls for circulating hot water system pumps shall start based on the identification of a demand for hot water within the occupancy. The controls shall automatically turn off the pump when the water in the circulation loop is at the desired temperature and when there is no demand for hot water.</p> <p>Circulating domestic hot water system piping shall be insulated to R-3.</p>
	Mechanical Ventilation Code Section N1103.6	The building shall be provided with ventilation that meets the requirements of Section M1507 of this code or the International Mechanical Code, as applicable, or with other approved means of ventilation. Outdoor air intakes and exhausts must have automatic or gravity dampers that close when the ventilation system is not operating.
	Equipment Sizing Code Section N1103.7	Heating and cooling equipment shall be sized in accordance with ACCA Manual J or other approved heating and cooling calculation methodologies. Equipment shall have an efficiency rating equal to or greater than applicable federal standards.
	Certificate Code Section N1101.14	A permanent certificate, completed by the builder or registered design professional, must be posted on or in the electrical distribution panel. It must list the R-values of insulation installed in or on the ceiling, walls, foundation, and ducts outside the conditioned spaces; U-factors and SHGC for fenestration. The certificate must also list the type and efficiency of heating, cooling and service water heating equipment.
	Existing Buildings and Structures See Appendix J of IRC	The purpose of these provisions is to encourage continued use of existing buildings and structures. Work in existing buildings shall be classified into categories of repair, renovation, alteration and reconstruction. Consult this Appendix for specific requirements related to work in existing buildings.

*******OCCUPANCY PERMIT CHECKLIST*******

LOCATION: _____ MAP: _____ LOT: _____

Any permit to occupy a residential or commercial building requires the following:

1. **Final Building Inspection** ☐
2. **Final Electrical Inspection** ☐
3. **Final Plumbing Inspection** ☐

The following information must accompany this form or be on file at the Planning Dept.:

- ☐ **Certified Plot Plan** showing location of building & monuments set (granite bounds, iron pipes)
- ☐ Copy of **Septic As-Built Plan & Operation Approval** from New Hampshire Water Supply and Pollution Control Commission must accompany this form
- ☐ Photo confirmation or letter stating **WCD Signs** have been posted, if applicable.
- ☐ **Oil/Gas Burning Permit** (from the Fire Department 635-2703)
- ☐ Copy of **Well Test** to be done by a **NH Certified Well Testing Lab** in accordance with Section 5 of the Board of Health Water Supply Regulations – Well Ordinance. **If any primary elements fail, a point of entry mitigation system will need to be installed, and a letter from the installer is required (invoices are not acceptable). Post treatment test showing passing results must also be submitted.**
- ☐ A completed **Well Data Report** submitted by the well driller or his agent.
- ☐ A completed **Blower Door Test**. Must demonstrate an air exchange rate of seven Air Changes per Hour (ACH) or less @ 50 Pa.
- ☐ **A COPY OF THE BUILDING PERMIT INCLUDING ALL SIGNATURES/DATES OF INSPECTIONS**
- ☐ Change of address form signed and units properly numbered (**FOR ATTACHED & DETACHED ADU's**)

All necessary approvals **must be submitted** to the Planning Department at least **3 business days in advance** of requesting an occupancy permit. **NO EXCEPTIONS!!!!**

I hereby certify that all the above approvals have been submitted to the Planning Department in accordance with above.

Printed name of Builder/Owner: _____ Phone# _____

Signature of Builder/Owner: _____ Date: _____

Please do not submit this with your application.

Keep this form to complete & submit at time of Certificate of Occupancy request.